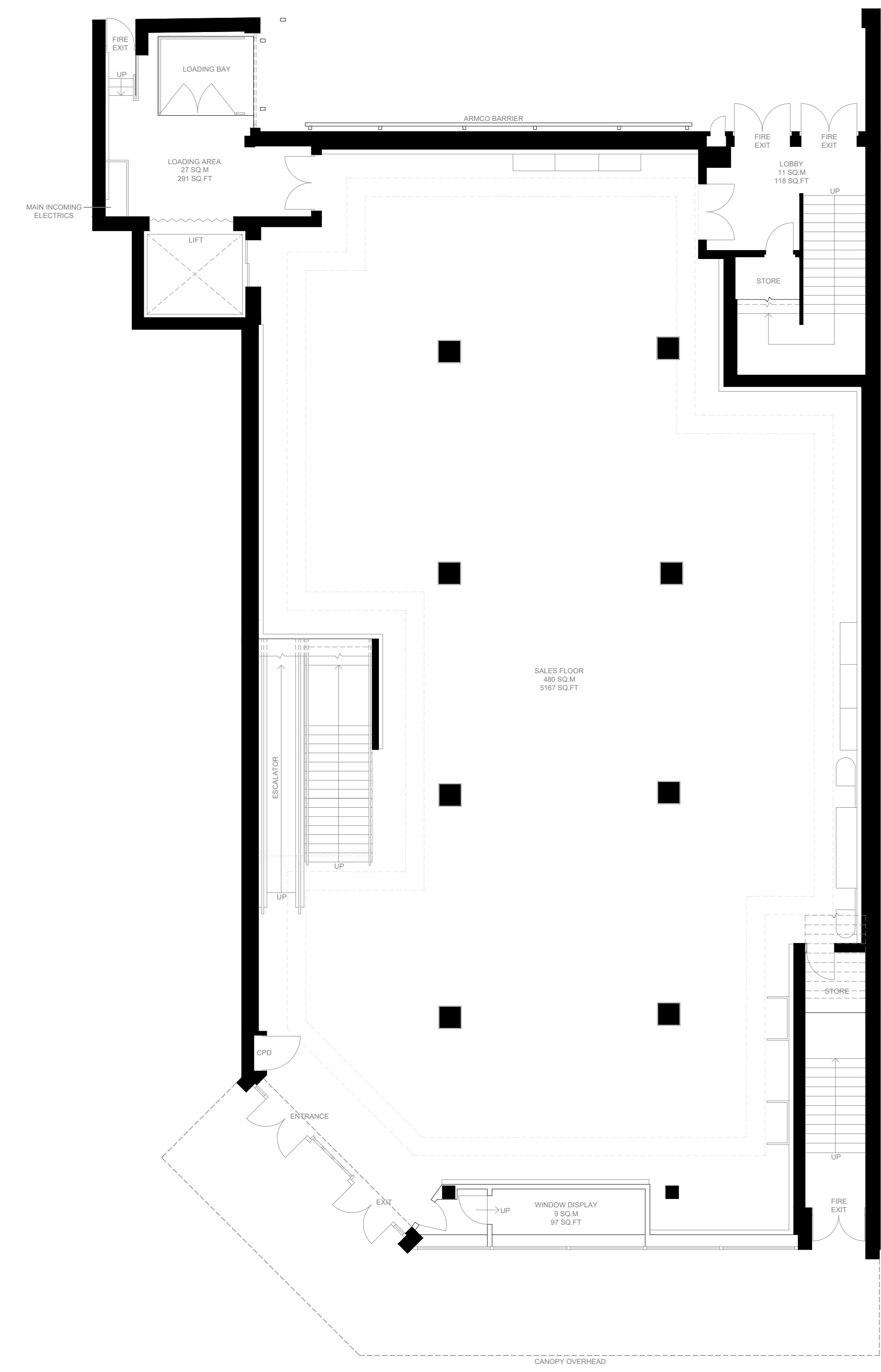
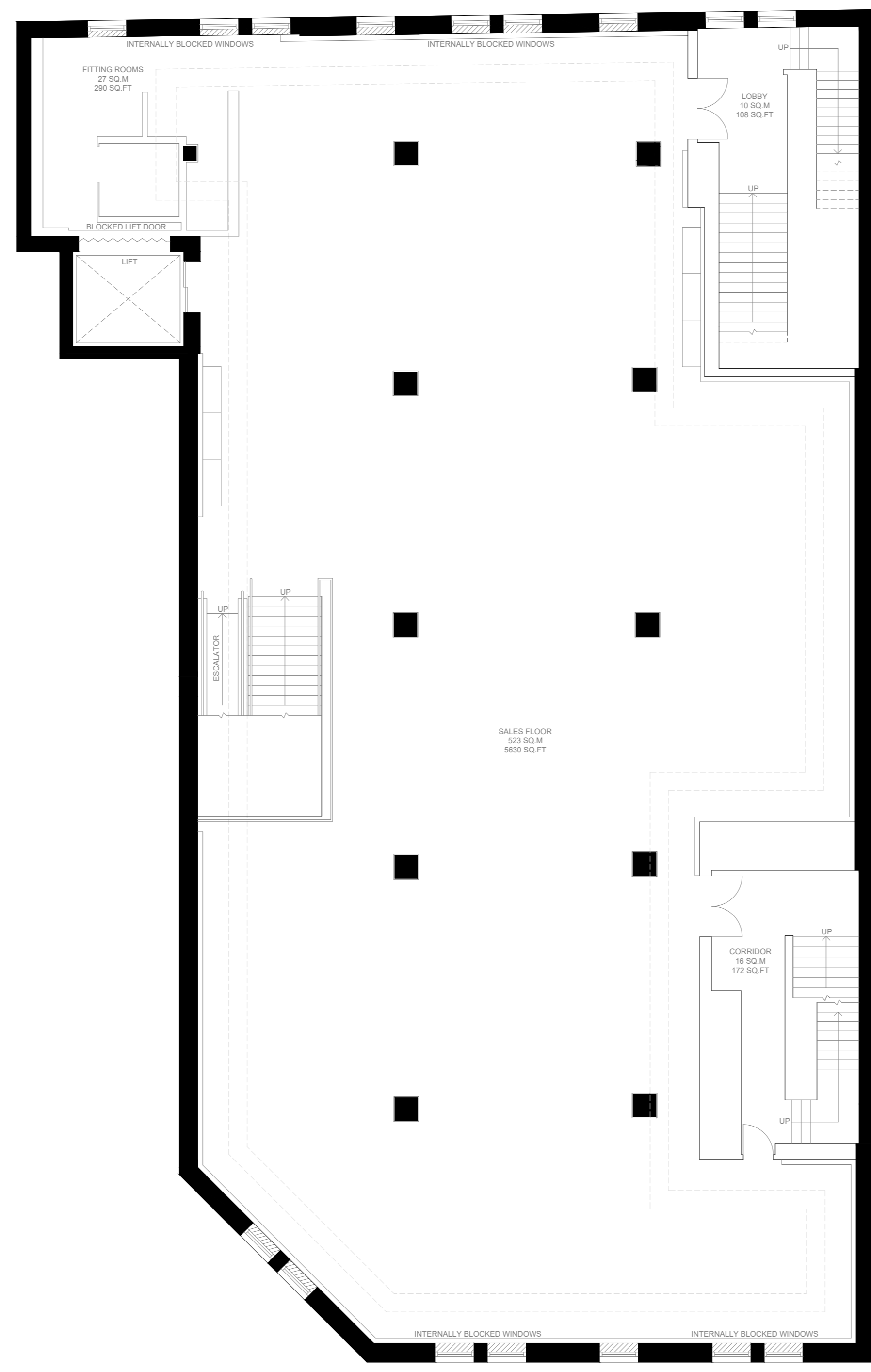


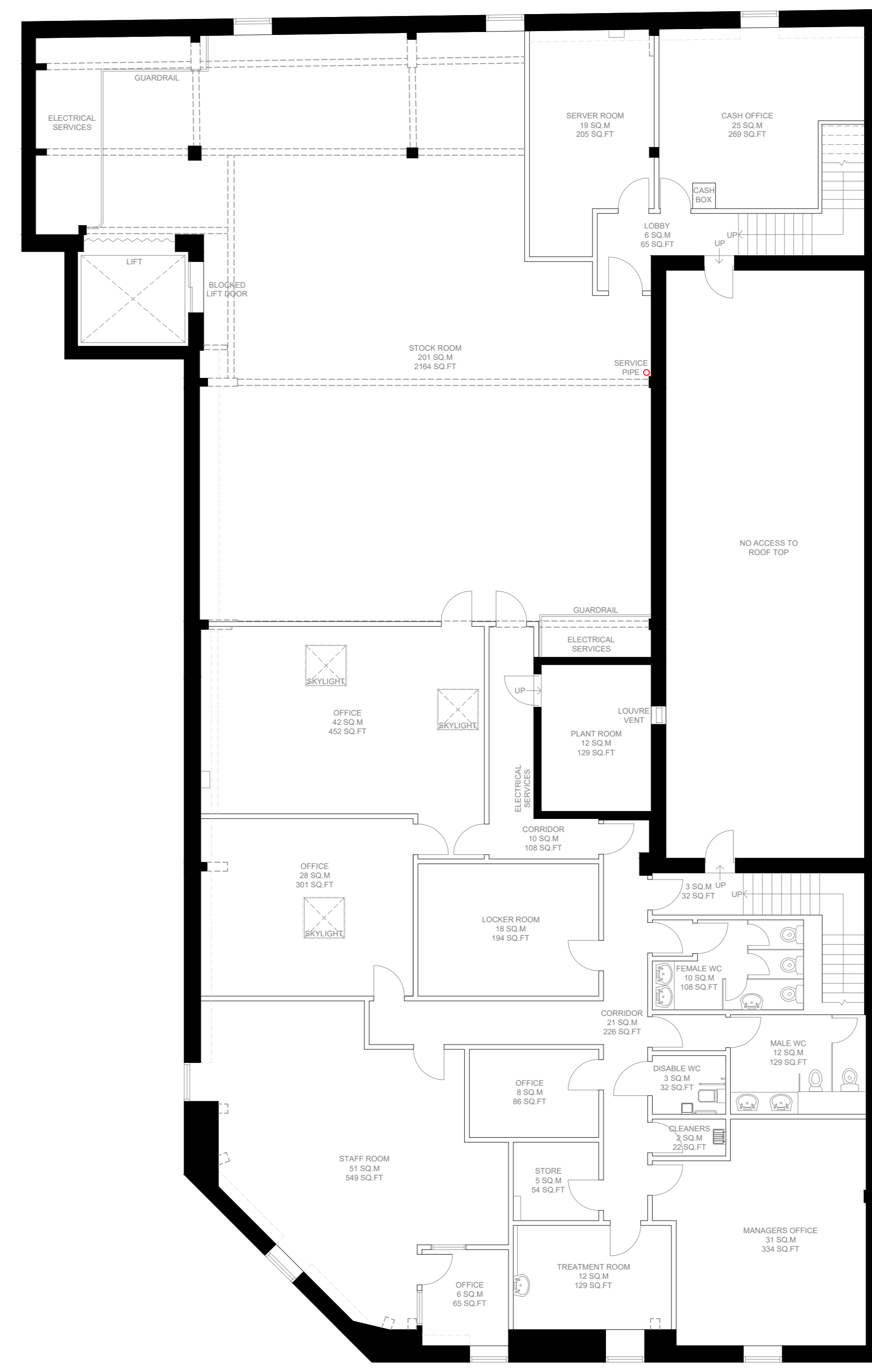
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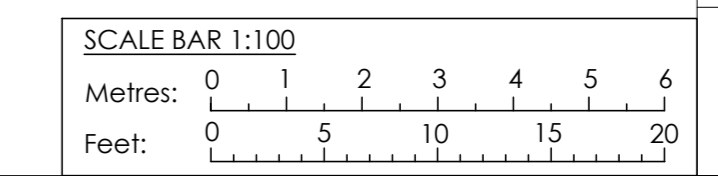
01 EXISTING GROUND FLOOR LAYOUT  
1:100



02 EXISTING FIRST FLOOR LAYOUT  
1:100



03 EXISTING SECOND FLOOR LAYOUT  
1:100



RAG RATING  
**AMBER**

-	Initial Issue	16/08/22
Rev:	Amendment:	Date:

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 Keys Business Village  
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 WS12 2HA  
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 F: 01543 458278  
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 W: www.hlpuktd.net



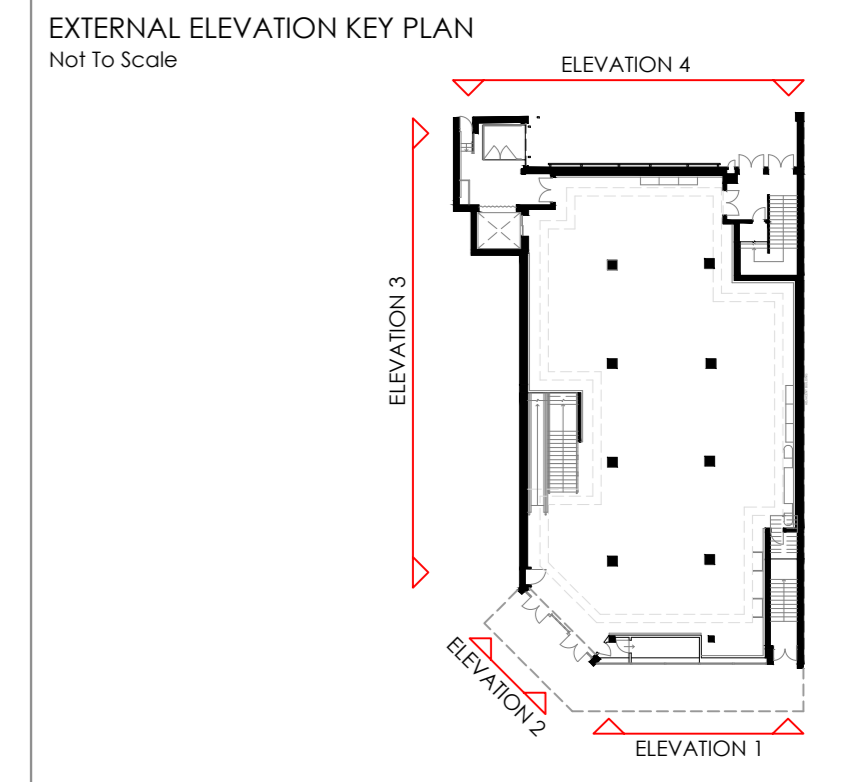
Contract  
**Poundland**  
 Pattison House, Midland Road,  
 Walsall, West Midlands, WS1 3TX  
 TEL 0121 526 8395. FAX 0121 568 7382.

55 Moyston Street,  
 Llandudno  
 LL30 2NN

Drawing Title  
 Existing Ground, First & Second Floor Layout

Dwg. no.	Rev.	Paper Size
HLP / 1679 / 01	-	A0

Drawn	Date	Scale
SS	August 22	1:100



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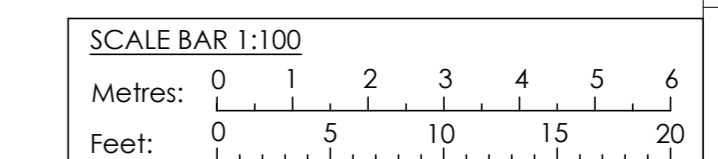
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03 EXISTING EXTERNAL ELEVATION 3  
1:100



04 EXISTING EXTERNAL ELEVATION 4  
1:100



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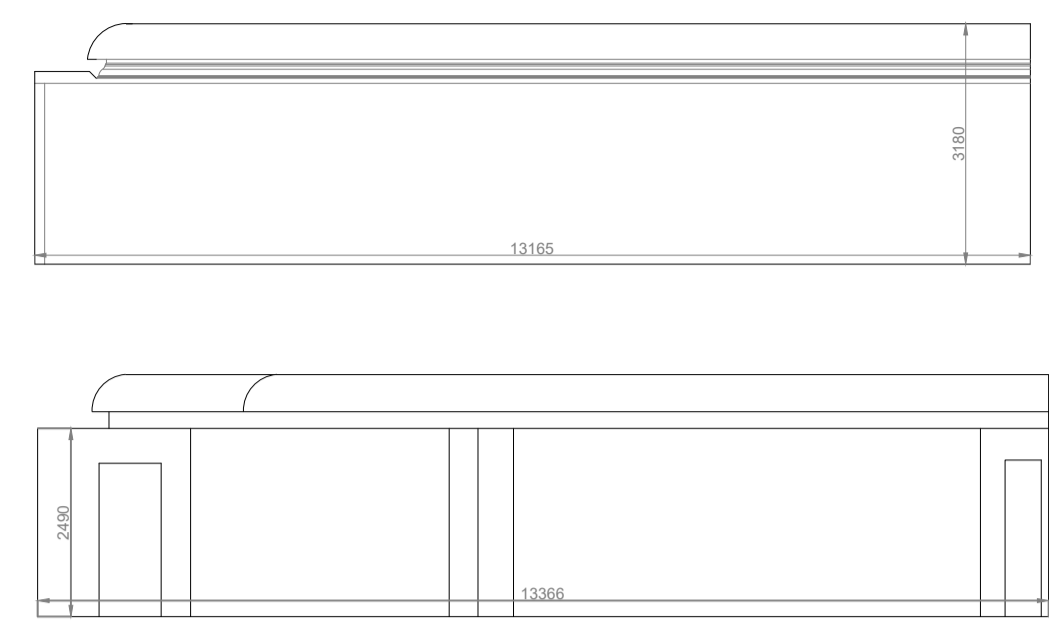
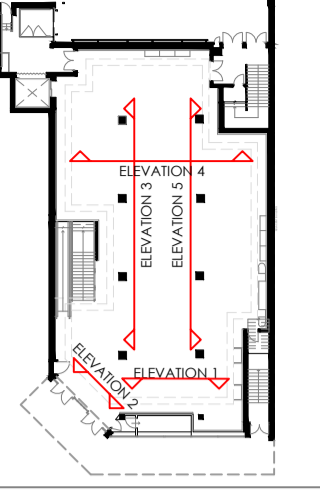
55 Moyston  
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 LL30 2NN

Drawing Title  
 Existing External Elevation

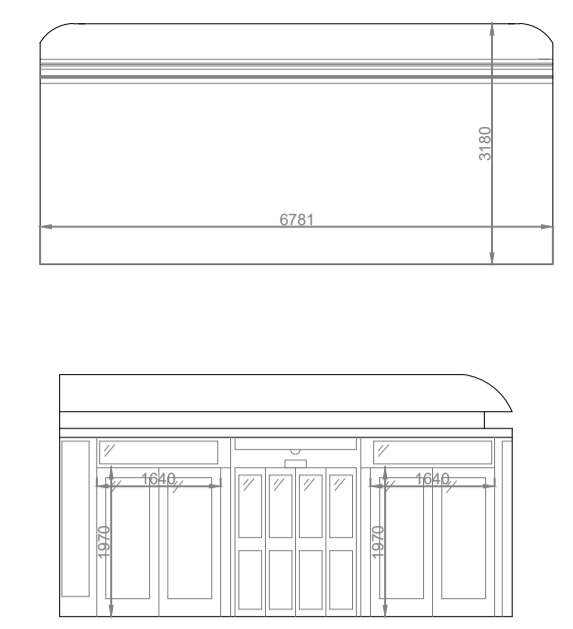
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HLP / 1679 / 02	-	A0

Drawn	Date	Scale
MM	August 22	1:100

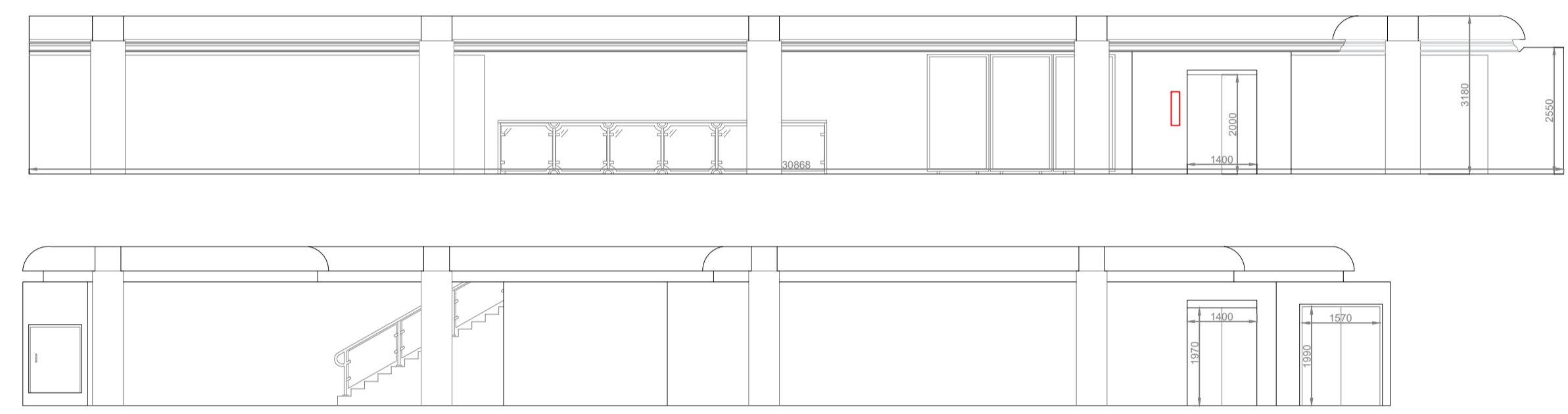
EXTERNAL ELEVATION KEY PLAN  
Not To Scale



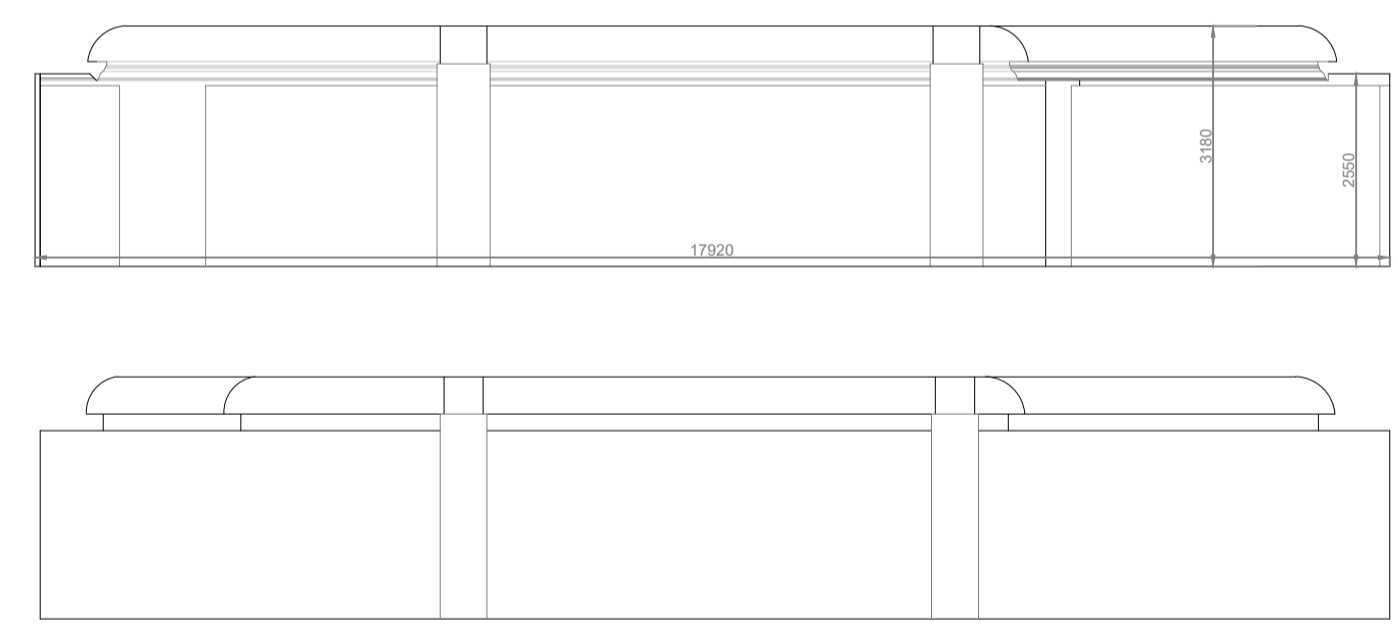
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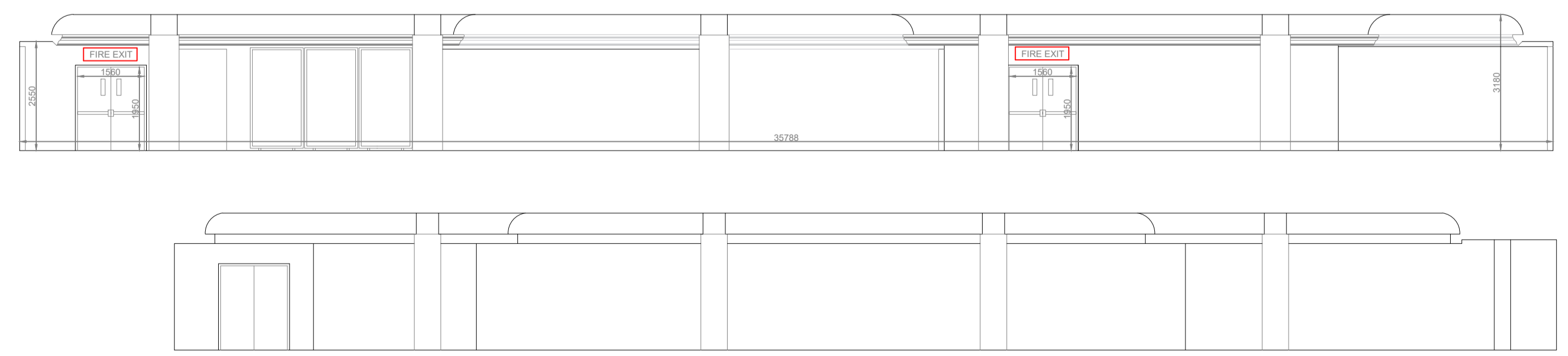
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Scale 1:100



03 EXISTING INTERNAL ELEVATION 3  
Scale 1:100



04 EXISTING INTERNAL ELEVATION 4  
Scale 1:100



05 EXISTING INTERNAL ELEVATION 5  
Scale 1:100

RAG RATING  
**AMBER**

Revision	Amendment	Date
-	Initial Issue	16/08/22

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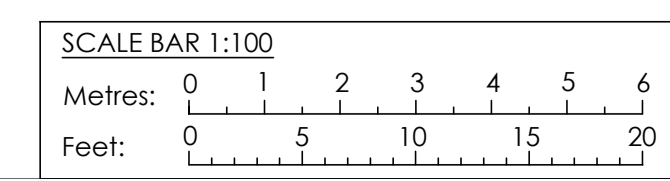
**Poundland**  
Pattison House, Midland Road,  
Walsall, West Midlands, WS1 3TX  
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Store  
55 Moyston  
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Drawing Title  
Existing Internal Elevation

Drawing Number	Revision	Paper Size
HLP /1679/ 03	-	A1

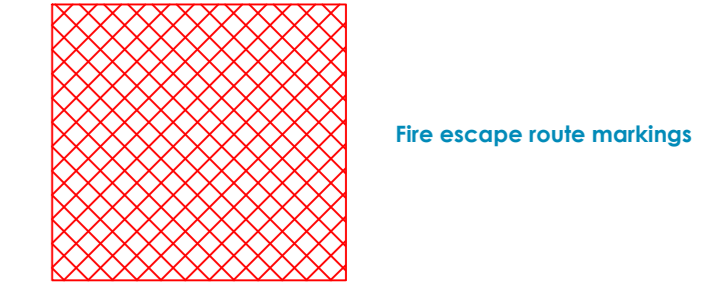
Drawn	Date	Scale
JC	August 22	1:100





**Notes**

- SALES AREA WALL FINISHES**  
 Main Contractor to refer to Foundations Standard Finishes Schedule.
- ENTRANCE/COUNTER WALLS**  
 Main contractor to line out internal perimeter walls and decorate all perimeter walls not covered by shelving system and above wall bays yellow RAL 1021
- COLUMNS**  
 Main contractor to stud out all internal columns and finish as specified
- All columns are to be clad with 2400mm slot complete with aluminium angles and black skirting. Main contractor to form new base shells to columns within gondolas.
- Columns with gondolas:  
 White slotwall up to 2400mm and painted white above.
- Columns free standing:  
 White slotwall up to 2400mm and painted white above. columns to be complete with "L" aluminium angle trim.
- BOX CORNERS**  
 Main contractor to create new stud-work box corner and finish magnaflor.
- OFF SALES**  
 To the walls within the stockroom and welfare areas, prepare and finish as per Foundations standard finishes schedule. All off-sales floor skirtings, architraves and frames to be finished as per Foundations standard finishes schedule.
- FLOORING**  
 By Specialist contractor  
 Refer to finishes schedule
- Sales floor:  
 Prepare subfloor and apply latex levelling compound ready to receive floor coverings specified below.
- All sales floor and welfare block vinyl coverings are to be supplied free issue by Poundland from Mens, Tarkett. All preparation and installation to be undertaken in accordance with manufacturers recommendations. To the main sales floor area supply and lay Tarkett ID Premier 70 Stab-ock Ref: 3846103 or Karolan opus primo.
- Off Sales Areas:  
 To the Cash office, supply and lay Virion plus Atlantis Res Ref: 308545. To the W.C.'s, supply and lay Tarkett Sheet ref 381980.
- To the Stairs and Landing supply and lay Tarkett Sheet ref 381980, complete with gradus stair nosings.
- To the stockroom area and other areas indicated apply two coat epoxy floor paint of Dulux CB07SG16307 - By Main contractor.
- To the designated fire escape walkway and disabled refuge supply and lay Tarkett floor tiles colour Bermuda Blue ref 2100193. To existing floor finish apply high visibility paint to denote escape route and area of refuge.
- PLUMBER**  
 See Standard drawing for specific details.
- Main contractor to provide all necessary waste pipes, drain pipes and traps to connect the new above ground system into the existing old pipe.
- Where dictated by Local by Laws main contractor to allow to extend the mains water supply and install a suitably sized water storage tank at high level. (Exact location to be confirmed on site) to be plumbed to feed the toilet wash hand basins, bidet etc.
- All pipework/storage tanks to be sized and installed to comply with current Building Regulation standards and Local bylaws where applicable. Where practicable all pipe work runs are to be concealed within the partition construction.
- A new cold water supply is to be taken direct from the mains cold water to supply cold water tap on the sink unit and to feed the hot water storage heater located at high level. A hot water supply is to be taken from the water heater to feed the sink unit, toilet, bidet etc.
- The sink is to be fitted with 50mm dia waste with a 75mm deep 90deg trap.
- BOOMS**  
 To the rear sales floor wall provide and fix 2no. 54mm thick core 60 min fire resistant flush doors, faced both sides with plywood, with hardwood splittings to long edges.
- To the new kitchen, provide and fix solid core 30 minute fire resistant flush doors faced both sides with plywood, hardwood splittings to long edges.
- For terminology and finishes see separate schedules and standard detail drawings.



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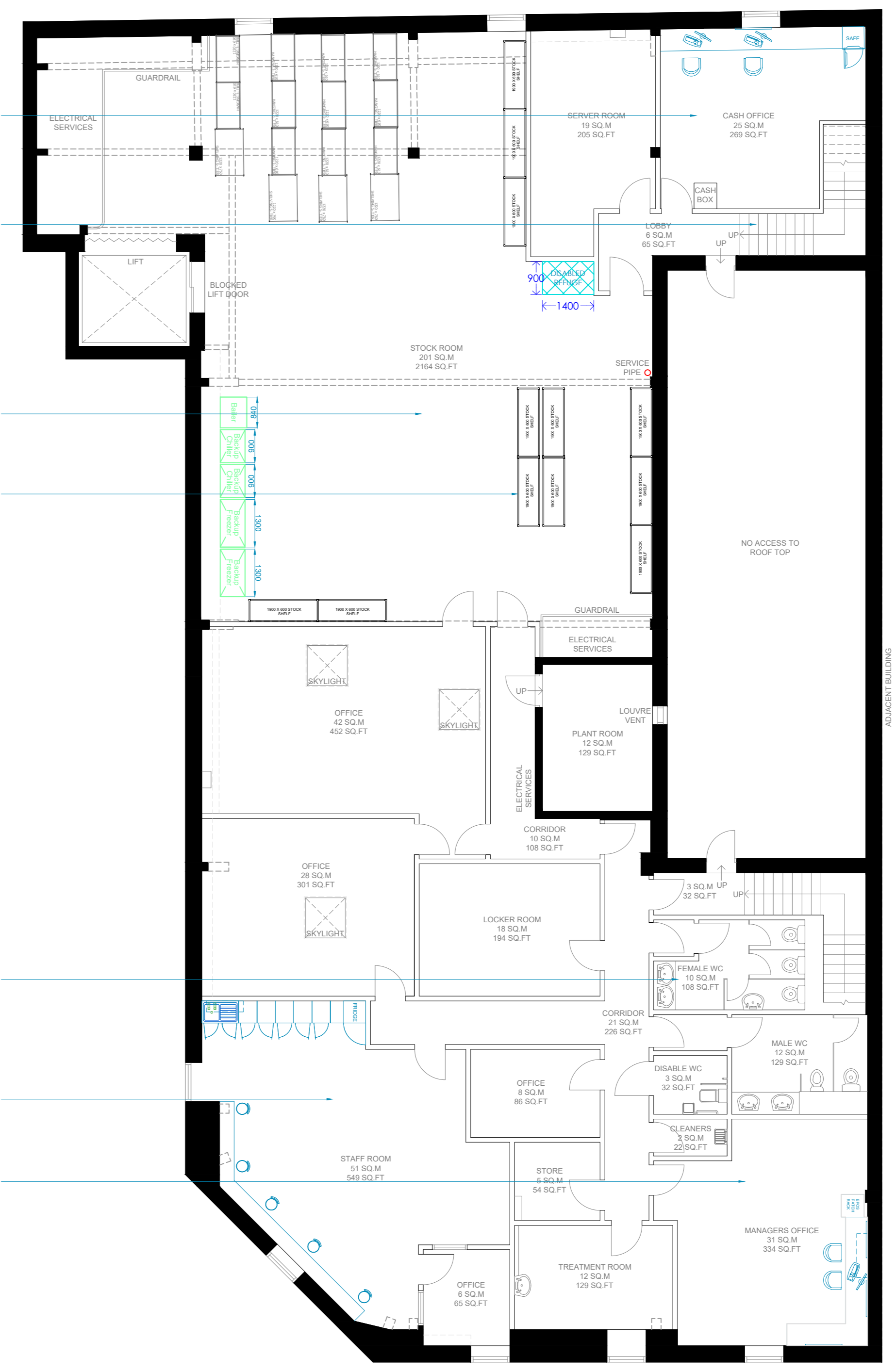
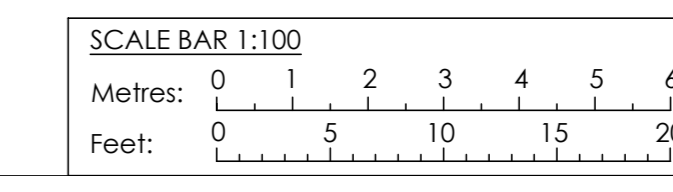
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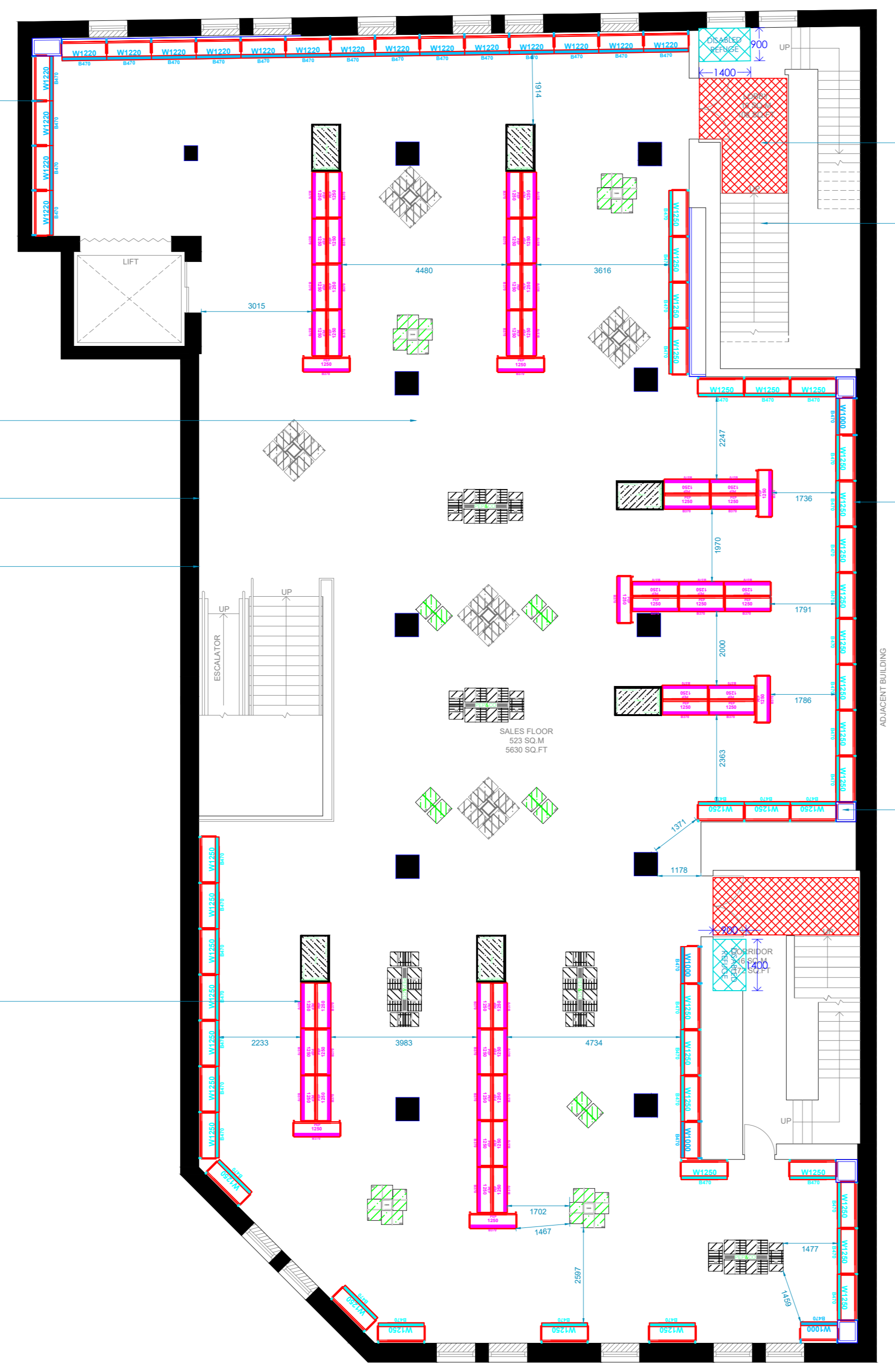
Drawing Title  
 Proposed Ground, First & Second Floor Layout

Dwg. no.	Rev.	Paper Size
HLP / 1679 / 04	-	A0

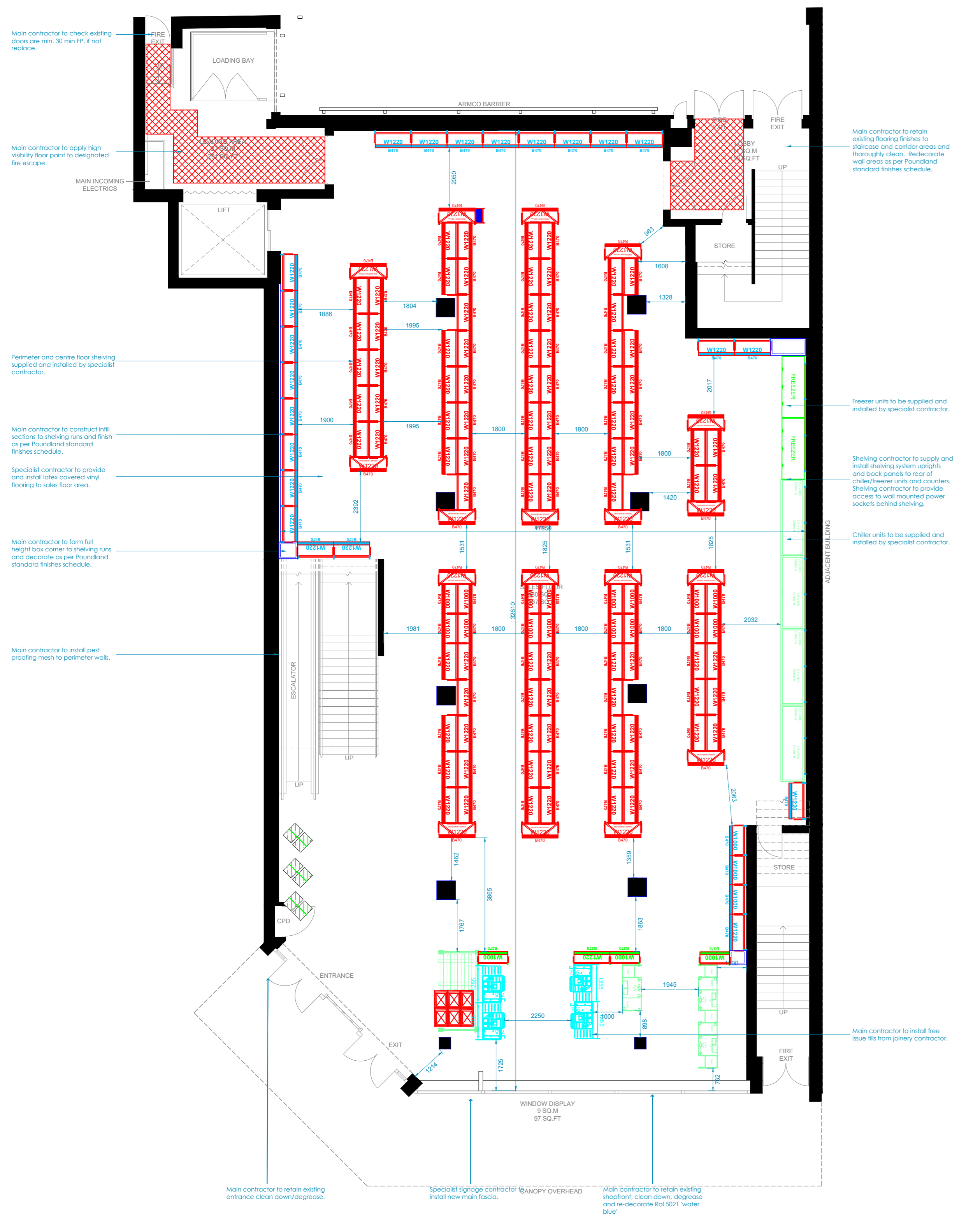
Drawn	Date	Scale
JC	August 22	1:100



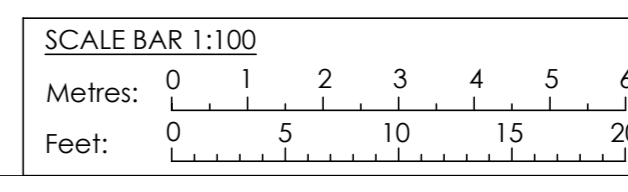
03 PROPOSED SECOND FLOOR LAYOUT  
 1:100



02 PROPOSED FIRST FLOOR LAYOUT  
 1:100



01 PROPOSED GROUND FLOOR LAYOUT  
 1:100





**Notes**

**CEILING**  
To the complete sales floor area provide and fix a new suspended ceiling consisting of a plain 1200 x 600 plain white back plasterboard tile with matching grid. To be fixed at a height of 3000 mm AFFL, unless otherwise indicated.  
To the welfare block and stock room provide and fix a new suspended ceiling consisting of a plain 1200 x 600 and 600 x 600 plain white faced plasterboard tile with matching grid. To be fixed at a height of 2400 mm AFFL, unless otherwise indicated.

**FIRE ALARM SYSTEM**  
Design, supply and install a fully automatic fire and smoke detection system. The system is to be compatible with the centre management system and installed in compliance with the terms and conditions of the contract. Include for connecting to the centre's master panel and for paying all commission charges. Upon completion the system is to be tested in front of the Poundland Project Manager and Store Manager on completion. A test certificate is to be issued on handover. The system is to comply with BS5839 part 1. All escape signage is to comply with BS 5499 parts 1 and 4.

Note:  
The electrician is to note that the locations indicated of fire alarm and smoke detection equipment is purely indicative, the installer must satisfy himself that the final installation complies with all the relevant regulations.

**EMERGENCY LIGHT SYSTEM**  
Design, supply and install an emergency light system to all areas on the plan. On completion a test certificate is to be issued. The system is to fully comply with BS5268 - Part 1 2011. The system is to include a test switch facility, either on the mains panel or adjacent to each fitting to allow the system to be tested during trading hours.



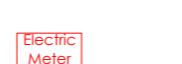
Note:  
The electrician is to note that the locations indicated of fire alarm and emergency lighting are purely indicative and that the installer must satisfy himself that the final installation complies with the relevant regulations.

**ELECTRICAL INSTALLATION**  
Take delivery of all free issue light fittings for the sales floor area only as indicated on the drawing. All other fittings included in this manner area to be supplied by the electrical contractor. Fix all fittings to the areas shown in accordance with the current IEE regulations. The system is to fully comply with BS7171:2008.  
All back of house lighting to be controlled via integrated PIR sensors. Lighting to be controlled via singular master light fittings connecting to slave light fittings.  
Electrical contractor to ensure Smart meter is connected to incoming supply and advise if not present to ensure application can be made.  
Where possible electrical contractor to install day light sensors to all sales areas where external light is present.  
Sales floor lighting to be switched to 3 levels via key switch and where possible electrical contractor to fit sales floor lights to a time clock.  
2/Chairs/Stocking 40%  
3/Full Trade 100%.

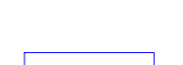









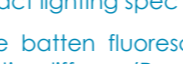
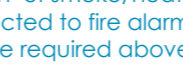



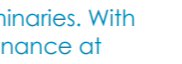

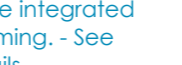

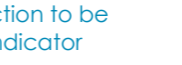
Entrance lights and signage lights -  
Mail locations - Entrance lights and signage illumination to be controlled via last man out switch.  
High Street locations - Entrance lights and signage illumination to be controlled via day light sensor and a master control via the last man out switch.  
Upon completion the contractor is to provide an NICEIC test certificate. Provide and connect suitable approved lamps to all fittings. Allow for double key switch control to sales area lighting from shop front entrance, one to control the centre floor, the other to control the perimeter lighting.  
Include for providing a 25kVA power supply complete with fuses on the main board for connection onto by the Air Conditioning contractor.  
Supply and connect all switched spur points to the space heating in the non sales area. Where shown on the drawing provide a switched spur point to the entrance chiller.  
Electrical contractor to carry out cable cabling installation comprising of CAT5E cabling terminated at each till and camera position wired back to managers office patch rack. System to include the cabling to the office as per Poundland standard detail drawings. Allow to wire 24 no cameras, exact locations to be confirmed by Poundland's Loss Prevention Dept.

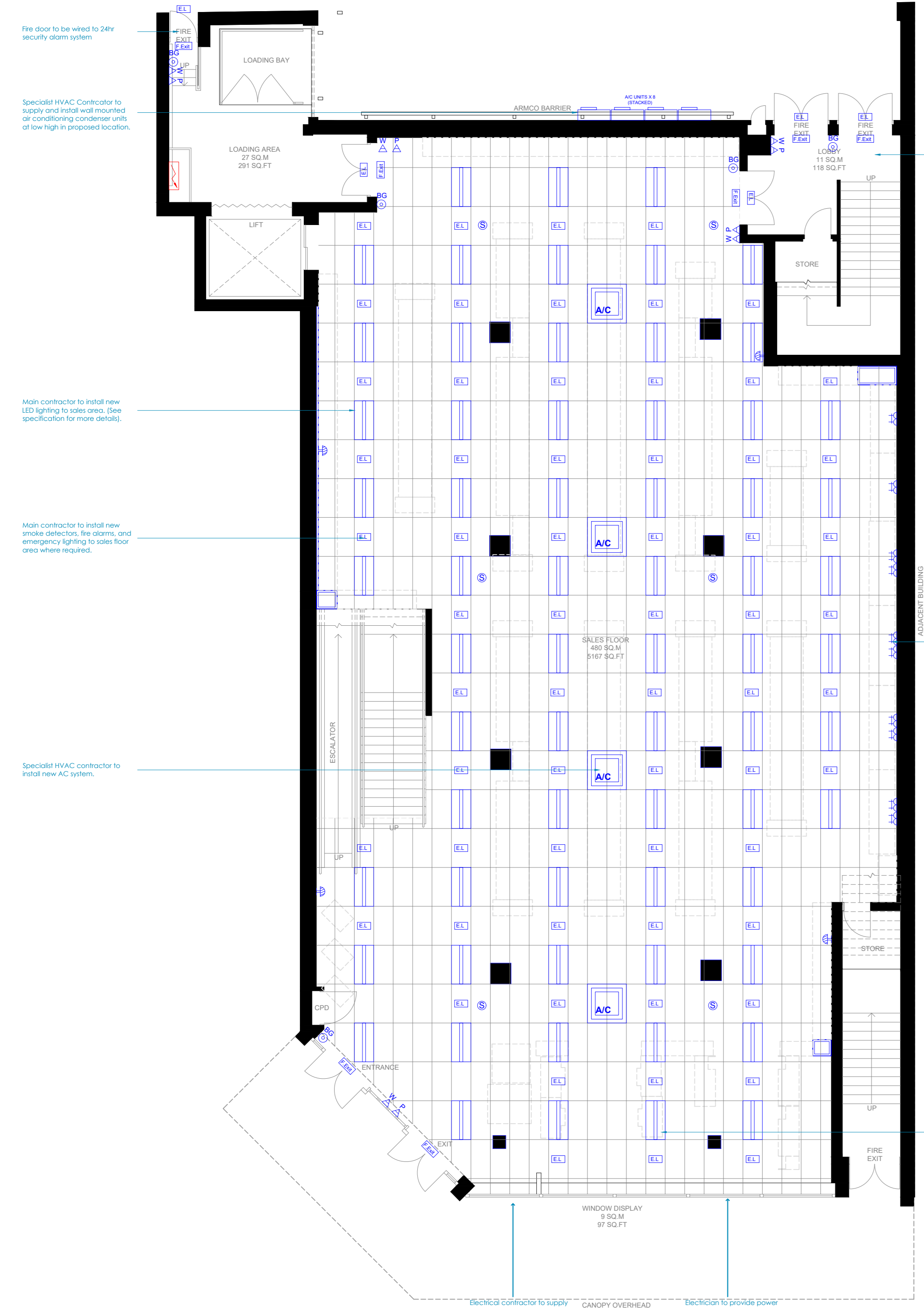
**HVAC**  
(by nominated contractor)  
Specialist contractor to supply and install new heating, ventilation and air conditioning system as per Poundland Standard requirements. Air conditioning system to be Mitsubishi as specified within Poundland Reference documents. AC units to be controlled by a single control fitted with Mitsubishi dead zone module. Controller to be locked off.  
All HV fans to be locked to last man out key switch.  
To the occupied areas, contractor to ensure a minimum fresh air supply of 10L per second per person. To AC areas contractor to install extract ventilation to achieve an extract of at least 6L per second per WC.

**EXISTING SERVICES LEGEND**

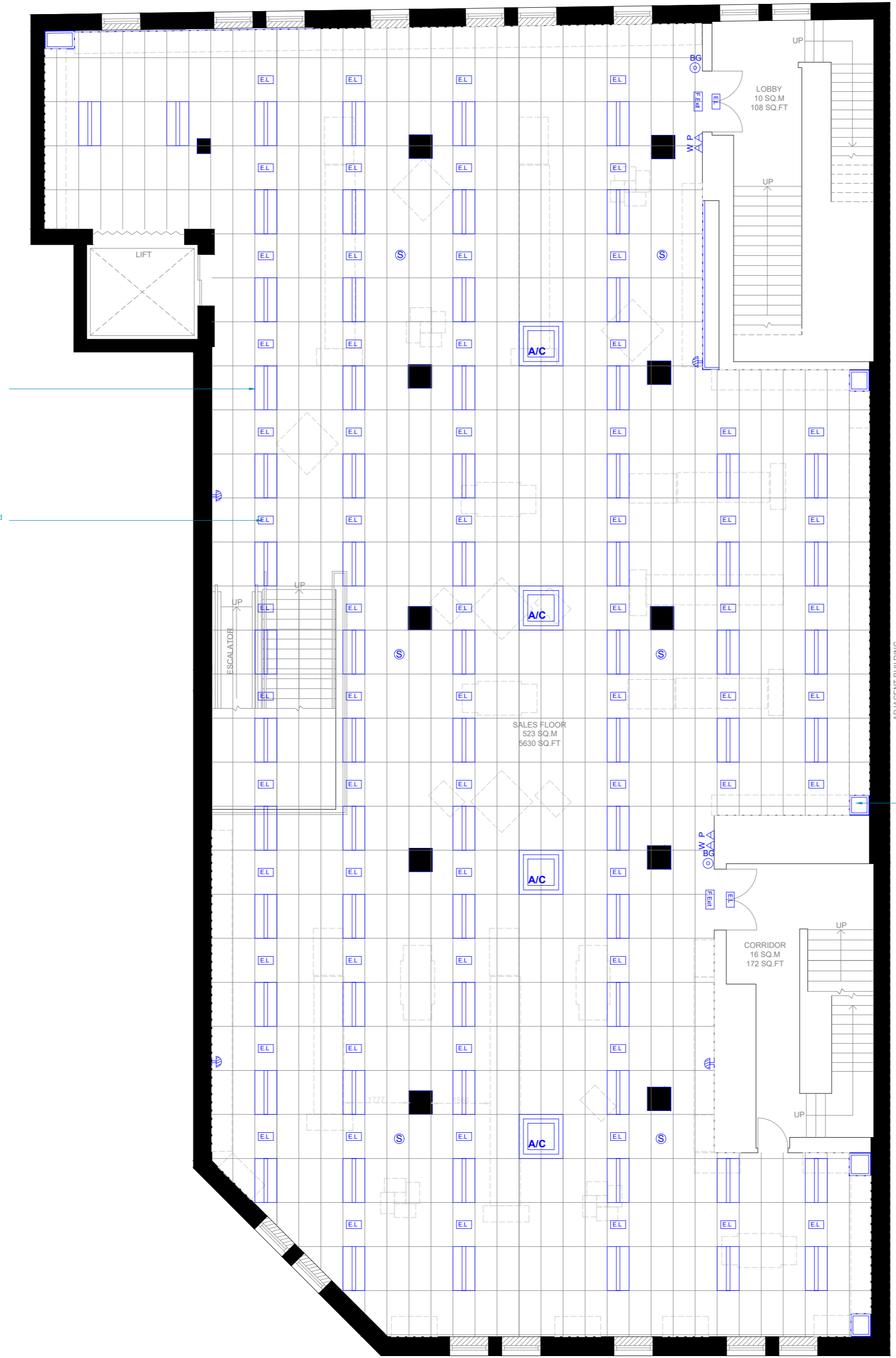
-  Incoming Electrics & Services Inset
-  M.D.B. Existing main distribution board.
-  Electric Meter

**PROPOSED SERVICES LEGEND**

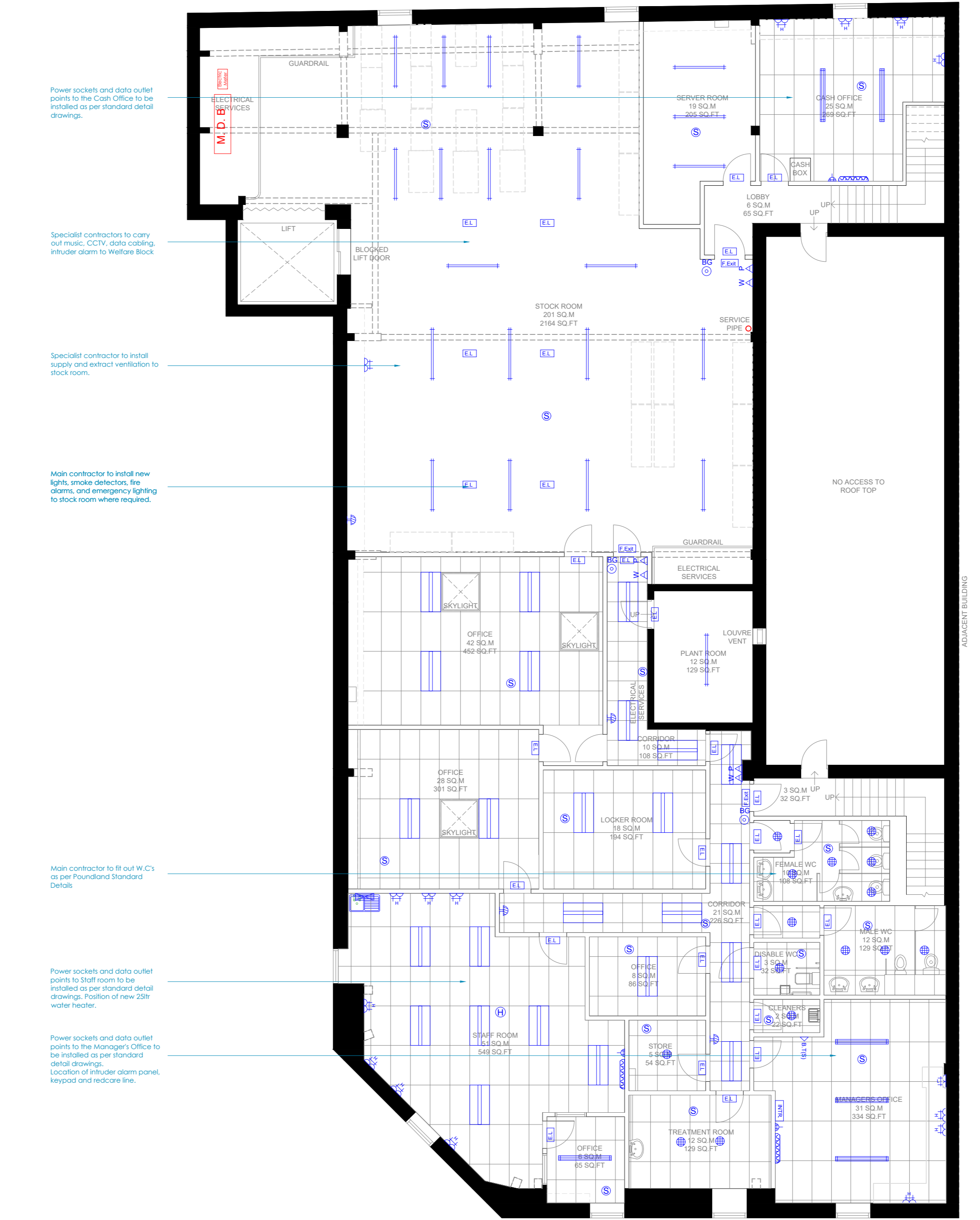
- All equipment to be supplied and installed by main contractor unless indicated otherwise.
-  New 1200 x 600 recessed LED luminaires. With central linear lens providing luminance of high angles.
  -  New 600 x 600 recessed LED luminaires. With central linear lens providing luminance of high angles.
  -  Ceiling mounted circular prismatic fitting with 20 lamps to label area. (Poundland Free Issue)
  -  Back of house store area fitting 11 x 49 Watt T3 bottom fitting. Fittings to have integrated PIR sensors and automatic dimming. - See compact lighting spec for details.
  -  Double bottom fluorescent fitting with prismatic diffuser. (Poundland Free Issue)
  -  Position of smoke/heat detectors connected to the fire alarm panel (note these may be required above and below the suspended ceiling). Void detection to be identified via a remote I.E.C.I. indicator.
  -  Non maintained self contained emergency light exit sign located above door frames (complete with running legend). Light to be wired through Test Switch on mains board.
  -  Wall mounted fire alarm sensor activated by break glass call point.  
Break glass call point connected to all fire alarms/sensors. Complete with F11 Fire Notice above.
  -  Position of fire extinguisher fixed to the wall indicates 3th Floor, CO2 indicated Arg Carbon Dioxide. Supplied and fitted by client's supplier. Device to be fitted to timber cabinet fitted by specialist contractor and decorated as per finishes Schedule.
  -  Denotes proposed location for fire alarm panel.
  -  Proposed location of 250 multi point hot water heater, at high level.
  -  13amp socket outlet or an (L) low or (H) workshop level wired back to ELCS trip on fuse board.
  -  Non switched fused spur point located above the suspended ceiling connected to signs and screen heaters.
  -  Denotes location for Intruder alarm panel, by nominated security alarm company, main contractor to provide non switched, 13 amp fused power supply adjacent to panel.
  -  Location of ceiling/wall mounted 3kw bush resin space heater, wired back to time clock, and controlled via single thermostat.
  -  Door Blowers with energy saving environmental controls.
  -  Proposed location of new Mitsubishi A/C ceiling mounted cassette units. Refer to Standard Poundland Air conditioning detail.
  -  Proposed location of new Mitsubishi A/C wall mounted condenser units. Refer to Standard Poundland Air conditioning detail.
  -  Non maintained self contained emergency ceiling and wall mounted light fitting. Light to be wired through Test Switch on mains board.
  -  Position of BT master socket, by British Telecom, dedicated red/cyan line for client's security alarm panel.



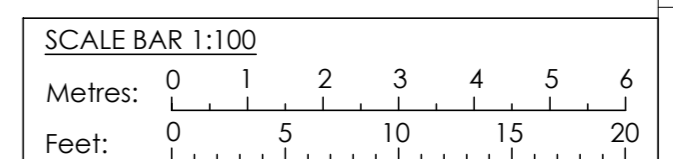
01 PROPOSED GROUND FLOOR LAYOUT  
1:100



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1:100



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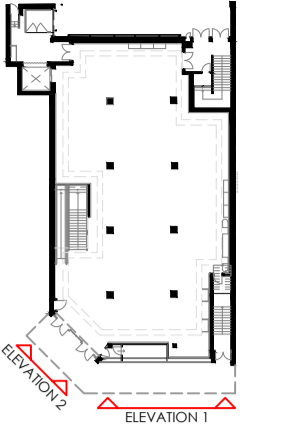
Drawing Title  
Proposed Ground, First & Second Floor Services Layout

Dwg. no. HLP / 1679 / 05 Rev. - Paper Size A0

Drawn JC Date August 22 Scale 1:100



EXTERNAL ELEVATION KEY PLAN  
Not To Scale



**EXISTING SHOPFRONT:**  
Where indicated the main contractor to clean down existing shopfront, degrease and make good ready to receive sprayed finish. Main contractor to apply electro-static sprayed finish in Ral 5021 Water Blue to the steel shopfront framing to internal and external faces. The existing door pivots and closers are to be serviced and left in full working order. All existing locks are to be replaced.

**MAIN FASCIA SIGNAGE - FLEX FACE**  
Nominated Signage contractor to manufacture and fix main fascia and side elevation signage constructed from 14 mm aluminium (GPO) isolated backing panel with flex-face front. Back and sides of panel to be stove enamelled Ral 5021 'water blue'. Back box to be internally illuminated by high-power fluorescent lamps, complete with rear reflector plate to ensure equal level of external illumination to lettering only. Luminance is to be controlled via a day light sensor and a master control via the last man out switch.

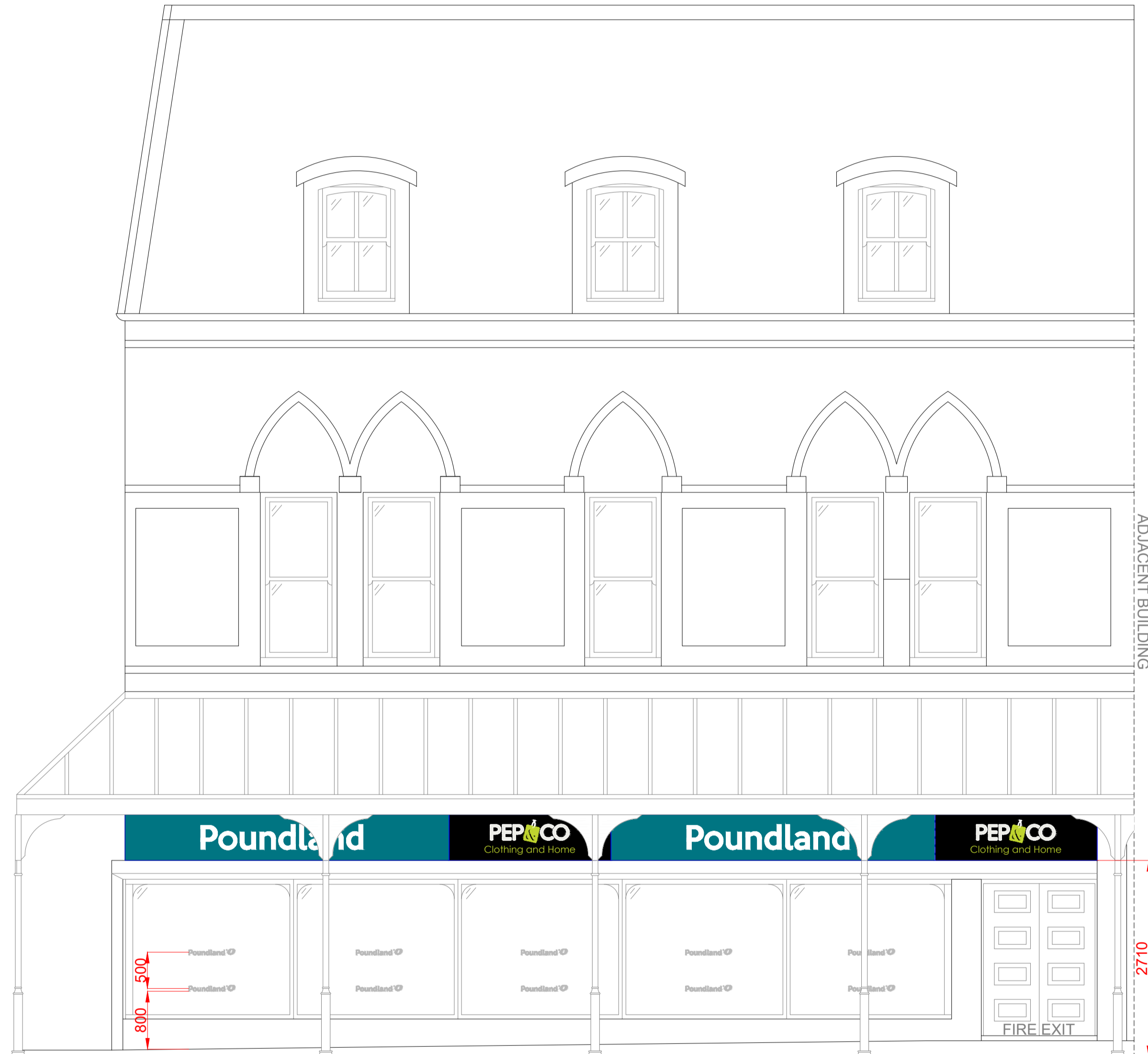
Front face to be formed from Ral 5021 Water Blue reinforced PVC flex-face skin decorated with 3mm white vinyl to 'Poundland'. Front face to be printed to provide illumination to lettering only. Vinyl refs: Avery 700 High performance range.

Sign box to be fixed to existing decorated steelwork with hidden fixings.

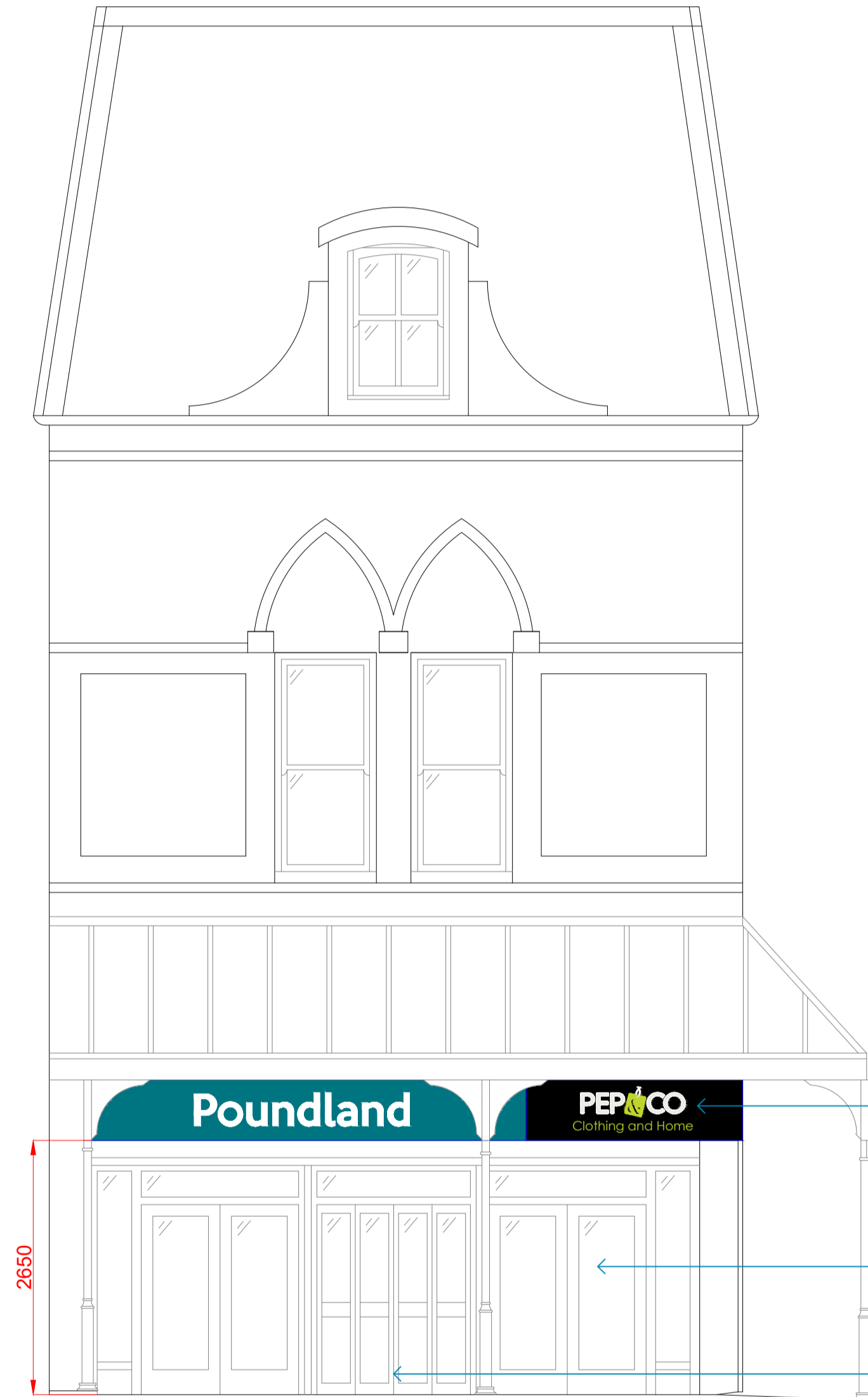
**MAIN FASCIA LETTERING**  
Main fascia lettering to comprise of flat cut 2.5mm aluminium powder coated blue RAL 5021 to letters and gold laurel leaves. Letters to be fixed back to main fascia on 24mm white locators.

**FASCIA BACKING PANEL**  
Fascia backing panel to comprise of 18mm Marine Plywood, finished with gloss, colour Dulux Q3275216397. Where exposed panel to have 45mm x 45mm angle trim surround, powder coated to match shopfront.

**MANIFESTATIONS**  
Nominated signage contractor to install new safety manifestations to glazing area. To consist of Poundland inc. laurel formed from crystal @ 300 mm centres. Both low 850-1000mm and high 1400-1600mm heights to comply with building regulations. Safety manifestations to be statutory height.



01 PROPOSED EXTERNAL ELEVATION 1  
1:100



02 PROPOSED EXTERNAL ELEVATION 2  
1:100

- Specialist signage contractor to install new internally illuminated main flex face fascia.
- Main contractor to retain existing shopfront, clean down and degrease.
- Main contractor to retain existing entrance doors, service, and clean down/degrease.

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Drawing Title  
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HLP /1679/ 06	-	A1
Drawn	Date	Scale
JC	August 22	1:100

